

PRELIMINARY PLAN NOT FOR RECORD

OF
DUCK HAVEN SUBDIVISION
PHASE 9

12.82 ACRE TRACT - 9 LOTS

B. MCGREGOR SURVEY, A-170

BRAZOS COUNTY, TEXAS

SCALE: 1" = 60' AUGUST 12, 2016

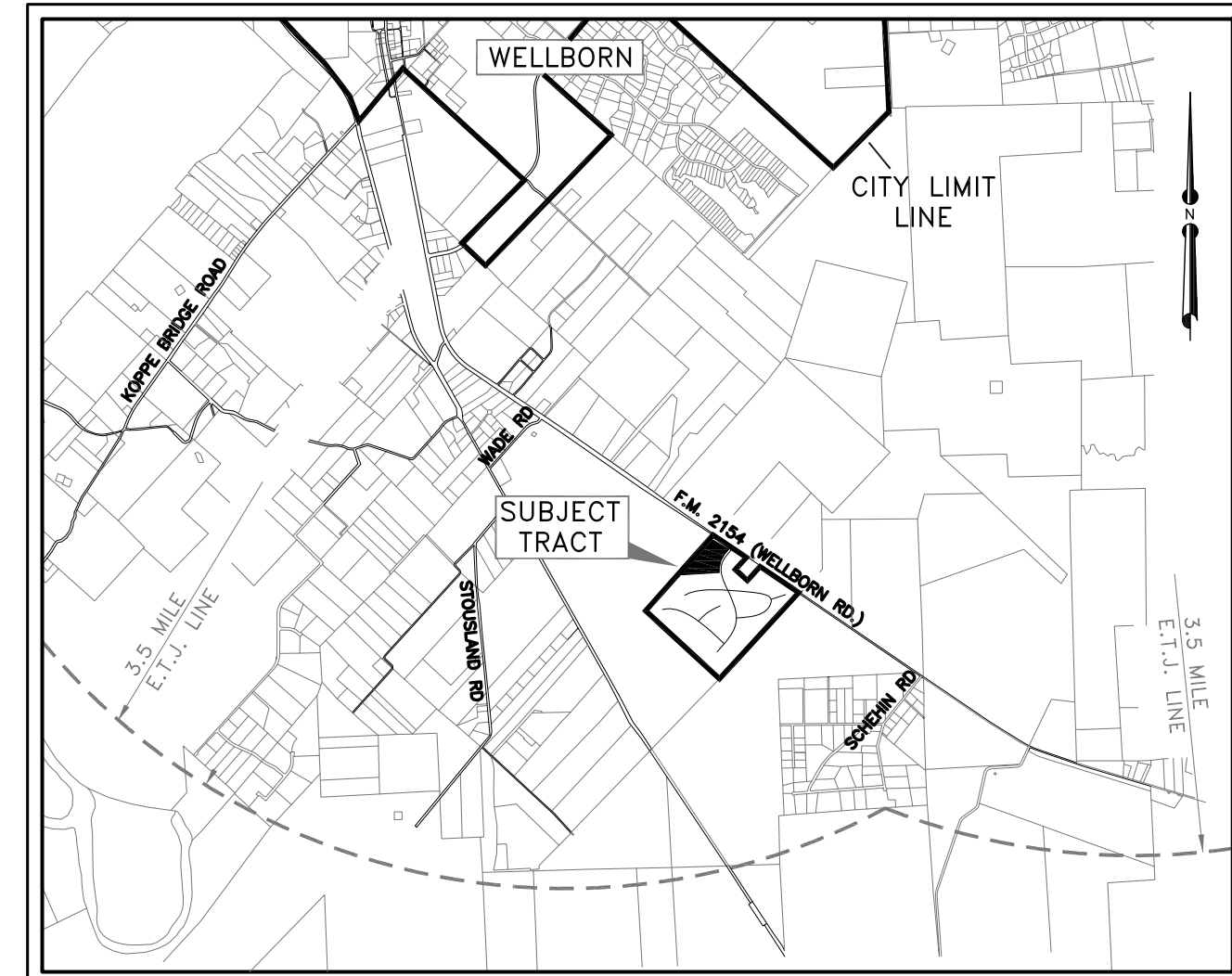
SHEET 1 OF 1

OWNED AND DEVELOPED BY:

DUCK HAVEN, LTD.
3608 EAST 29TH STREET, SUITE 100
BRYAN, TEXAS 77802
(979) 846-4384

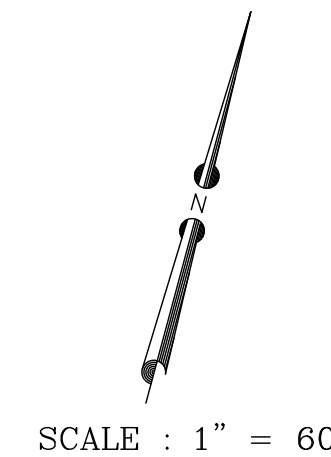
PREPARED BY:
DUCK HAVEN, LTD.
3608 EAST 29TH STREET, SUITE 100
BRYAN, TEXAS 77802
(979) 846-4384

ENGINEER/SURVEYOR:
MCLURE & BROWNE ENGINEERING
1008 WOODCREEK DRIVE, SUITE 103
COLLEGE STATION, TEXAS 77845
(979) 693-3838

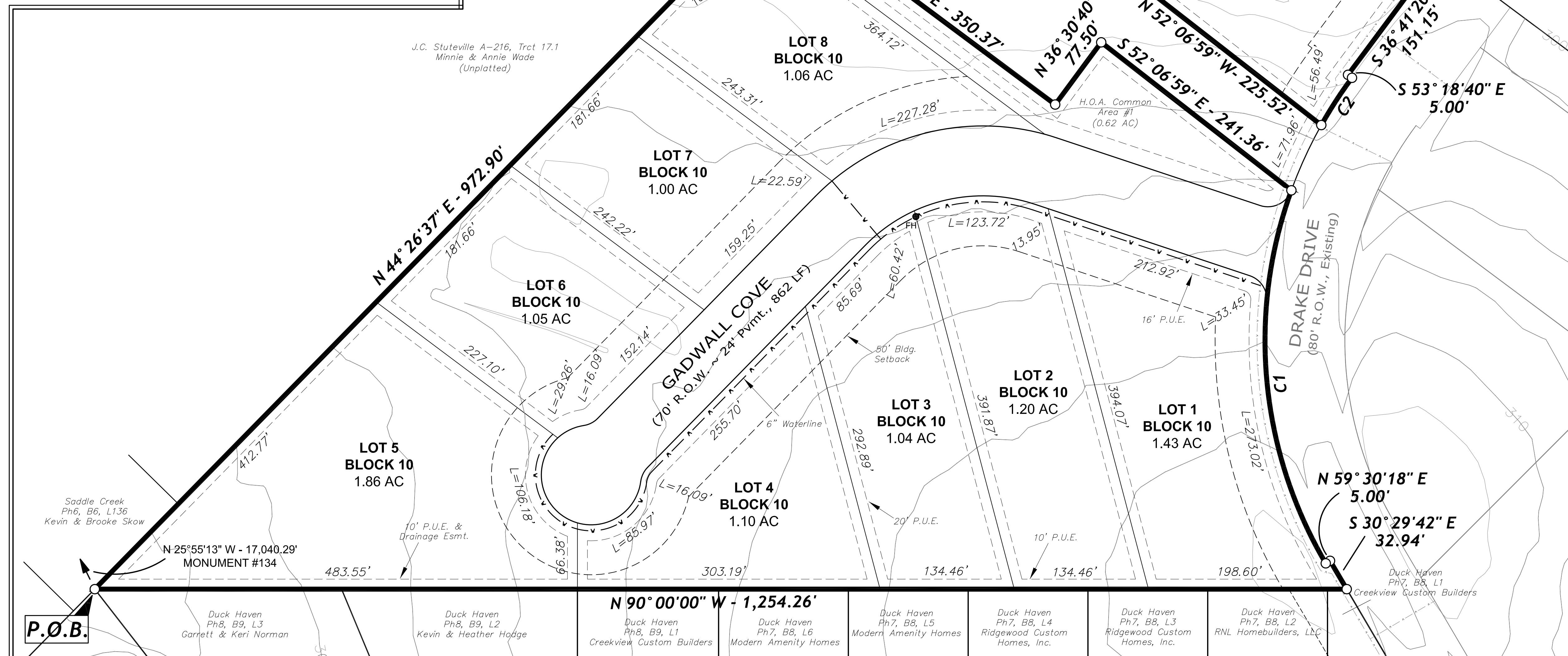


VICINITY MAP

NOT TO SCALE



SCALE : 1" = 60'



PRELIMINARY PLAN

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	50° 27' 15"	440.00'	387.46'	207.30'	S 05° 16' 05" E	375.06'
C2	07° 21' 19"	440.00'	56.49'	28.28'	S 33° 00' 41" W	56.45'

P.O.B.	POINT OF BEGINNING
P.U.E.	PUBLIC UTILITY EASEMENT
H.O.A.	HOME OWNERS' ASSOCIATION
ESMT.	EASEMENT
R.O.W.	RIGHT-OF-WAY
P.V.M.T.	PAVEMENT
F.H.	FIRE HYDRANT

ABBREVIATIONS

TOTAL LOT COUNT:	10 LOTS
TOTAL LOT ACREAGE:	10.72 AC
TOTAL H.O.A. COMMON AREA ACREAGE:	0.62 AC
TOTAL RIGHT-OF-WAY ACREAGE:	1.48 AC
TOTAL ACREAGE:	12.82 AC

ACREAGE CALCULATIONS

PROPOSED WATER LINE	— v — v — v —
PHASE LINE	—————
PROPERTY LINE (SUBJECT BOUNDARY AND ADJOINERS)	—————

LEGEND

NOTES:

- BASIS OF BEARINGS IS TRUE NORTH OBTAINED BY SOLAR OBSERVATION. REFER TO THE PLAT FOR POINT OF BEGINNING (P.O.B.) LOCATION.
- NO LOT LIES WITHIN THE ZONE "A" SPECIAL FLOOD HAZARD AREA INDICATED ON THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY, TEXAS AND INCORPORATED AREAS. COMMUNITY NO. 481195, MAP NO. 4804100375E. EFFECTIVE DATE: MAY 16, 2012. BASE FLOOD ELEVATIONS ARE NOT DETERMINED FOR ZONE "A".
- THERE IS A 16' PUBLIC UTILITY EASEMENT ALONG THE RIGHT OF WAY FRONTAGE OF ALL LOTS, UNLESS OTHERWISE NOTED.
- THERE IS A 20' PUBLIC UTILITY EASEMENT CENTERED ON ALL INTERIOR LOT LINES AND A 10' PUBLIC UTILITY EASEMENT ALONG THE REAR OF ALL LOTS.
- BUILDING LINE SETBACKS ARE AS FOLLOWS:
FRONT SETBACK: 50'
SIDE SETBACK: 20'
REAR SETBACK: 25'
- CONTOURS PROVIDED BY THE CITY OF COLLEGE STATION.
- ALL LOTS WITHIN THIS PLAT SHALL HAVE INDIVIDUAL ON SITE SEWAGE FACILITIES.
- ALL LOTS ARE SUBJECT TO THE REQUIREMENTS AND RESTRICTIONS DELINEATED IN THE COVENANTS, CONDITIONS, RESERVATIONS, AND RESTRICTIONS OF THE SUBDIVISION.
- NOTES FROM THE BRAZOS COUNTY HEALTH DEPARTMENT:
a.) ALL LOTS SERVED BY AN OSSF MUST COMPLY WITH COUNTY AND STATE REGULATIONS. NO OSSF MAY BE INSTALLED ON ANY LOT WITHOUT THE ISSUANCE OF AN "AUTHORIZATION TO CONSTRUCT" ISSUED BY THE BRAZOS COUNTY HEALTH DEPARTMENT UNDER THE PROVISIONS OF THE PRIVATE SEWAGE FACILITY REGULATIONS ADOPTED BY THE COMMISSIONERS COURT OF BRAZOS COUNTY, PURSUANT TO THE PROVISIONS OF SECTION 21.084 OF THE TEXAS WATER CODE. NO OSSF DRAIN FIELD IS TO ENCROACH ON THE 100-FOOT SANITARY ZONE OF PRIVATE WATER WELLS OR 150 FEET OF PUBLIC WATER WELLS. A SANITARY ZONE MUST BE CLEARLY DELINEATED AROUND ALL EXISTING PUBLIC OR PRIVATE WELLS ON THE SUBDIVISION PLAT OR WITHIN 150 FEET OF THE SUBDIVISION BOUNDARY.
b.) ALL LOTS WILL BE REQUIRED TO HAVE A SITE/SOIL EVALUATION ON FILE WITH THE BRAZOS COUNTY HEALTH DEPARTMENT BEFORE ON-SITE SEWAGE FACILITY MAY BE CONSTRUCTED.
c.) ON-SITE SEWAGE FACILITIES DISPOSAL AREAS SHALL NOT ENCROACH THE 100 FOOT OR THE 150 FOOT SANITARY ZONE OF A PRIVATE OR PUBLIC WELL, RESPECTIVELY. A SANITARY ZONE MUST BE CLEARLY DELINEATED AROUND ALL EXISTING WELLS ON THE PLAT.
- WELLBORN SPECIAL UTILITY DISTRICT WILL PROVIDE WATER SERVICE FOR THE SUBDIVISION.
- MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 1/2" IRON RODS SHALL BE SET AT ALL CORNERS UNLESS OTHERWISE INDICATED.
- EXISTING LAND USE: VACANT
PROPOSED LAND USE: SINGLE FAMILY RURAL RESIDENTIAL
- THIS SUBDIVISION IS LOCATED WITHIN THE COLLEGE STATION INDEPENDENT SCHOOL DISTRICT.
- ALL COMMON AREAS ARE OWNED AND MAINTAINED BY THE DUCK HAVEN HOMEOWNERS' ASSOCIATION.